

# Small Lodges Character Area

Encompassing the Lodge Overlay and Lodge Preservation Overlay Zone Districts

## Design Objectives and Guidelines

### Location

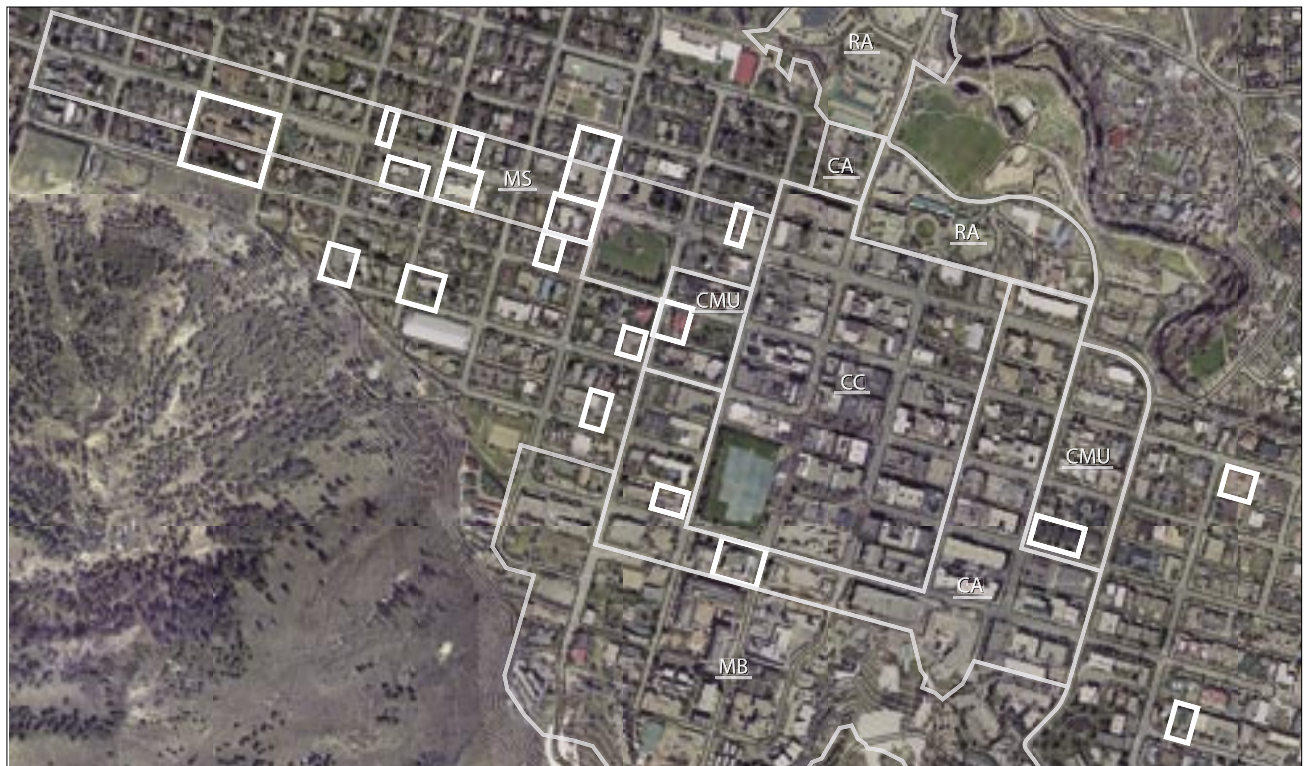
The Lodge Overlay and Lodge Preservation Overlay Zone Districts comprise a range of individual lodge sites concentrated within or in proximity of the Main Street, Commercial, and Central Mixed Use Character Areas. They are individual sites which lie within several zone districts scattered throughout the city center. The majority of the Overlay Districts are in residential and Mixed Use (MU) Zone Districts, but a few are located in the Lodging (L) Zone District.

### Existing Character

Aspen's small lodges are dispersed throughout residential and mixed-use neighborhoods. This has enabled a unique guest experience that allows visitors to be part of the community even if just temporarily.

Each of these buildings is individual and the setting of every site is unique. While these lodges are inherently anomalies in their settings, their dimensions and character should respect their surroundings. Settings range from an urban context of lodge development through the Mixed Use multi-family scale, to the more residential and generally historic townscape of historic Main Street and its environs. Existing character is defined by the specific context of each site.

The concentration of these lodge sites, within the western corridor area and around the Commercial Core, records some of the early 'resort' history of the city, and is an essential part of its present day character. Preservation of some lodges is anticipated, whereas other sites may redevelop.



Small lodge sites are located within various lodge, commercial and residential areas. They are shown in the image above.





Many individual sites that comprise the Lodge Overlay Zone Districts are located within residential areas.



Small Lodge sites record some of the early 'resort' history of the city and are an essential part of its present day character.



Many lodge sites are located in residential areas, where the single family character should be respected.

## Design Objectives

The policy intent of these districts is to protect small lodge uses on sites which have been historically utilized for this purpose, and encourage the upgrade of these lodge facilities. Compatibility with the neighborhood is a requirement, coupled with a respect for the ways in which the lodge has traditionally operated. However, small lodge developments should not mimic non-lodging buildings in the neighborhood.

### 1. New development should be compatible with the neighborhood in which it is located.

Many lodge sites are located in residential areas, where the single family character should be respected. In these settings, because the overall mass and scale of a lodge is likely to be larger than that of adjacent residences, the treatment of the edges of a lodge site is particularly important.

Other lodge sites located in commercial areas will be guided by the design objectives and guidelines for the respective character area. In all cases, it is important to balance compatibility with the functional needs of a lodge development.

### 2. Create a distinctive experience for lodging with a sense of being in a neighborhood.

Lodge overlay sites offer a special opportunity to experience the community more closely, and to feel a part of a neighborhood. Therefore, these lodges should appear related to the context in their design, while also conveying the unique character of an exciting accommodations facility.

### 3. Enhance the character of the street edge.

A lodge overlay site should provide a street edge with visual delight and that invites pedestrian activity in the neighborhood. This can be achieved with lush landscaping, architectural details, and entrances that face the street.

### 4. Minimize the visual impacts of cars.

Where on-site parking is permitted, it should be screened from public view.



## Conceptual Review Design Guidelines

The following design guidelines shall apply at the conceptual review stage.



*The network of streets, alleys and existing pedestrian passageways enhances access throughout Aspen.*

### ***Street & Alley System***

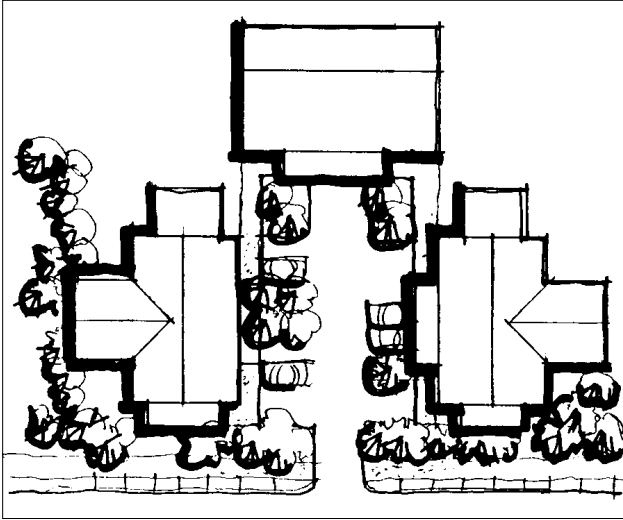
The street pattern is essential 'infrastructure' for the character of the city - its origins and its future evolution. The network of the town grid of streets and alleys provides the formal framework for an essentially informal architectural character. The north/south orientation of the streets frames and accentuates the perception of the city's relationship with its dramatic landscape setting.

The circulation pattern provided by the network of streets, alleys and courts should be retained to ensure maximum public access. It should not be enclosed by gating and it should not be spanned by development above. Wherever possible pedestrian access should be enhanced.

#### **5.1 The network of streets and alleys should be retained as public circulation space and for maximum public access.**

- They should not be enclosed or closed for public access, and should remain open to the sky.
- This applies to a lodge property that may include lots on both sides of an alley.





*Minimize the visual impacts of surface parking by screening parking areas with landscaping.*

## ***Parking***

The character of Aspen is one which is most appreciated on foot and the human scale walkable concentration of streets and spaces lies at the heart of the attraction of the city. The visual impact of parking should be minimized.

Whenever possible parking should be placed underground or in a structure where the scale and setting of the site affords this opportunity. Surface parking shall be placed away from the street, within the site, and effectively buffered and integrated with the site using landscaping.

### **5.2 Minimize the visual impacts of parking.**

- Parking shall be placed underground wherever possible.
- Where surface parking is permitted, it shall be located to the interior of the property.
- Surface parking shall be externally buffered with landscaping, and internally planted and landscaped to soften design of parking areas and provide solar shade.

### **5.3 Minimize the visual impacts of surface parking.**

- On small lots where limited surface parking in front of the building might be considered, it should be designed and screened to minimize the visual impacts.

## ***Public Amenity Space***

Public Amenity Space is a development requirement for small lodge sites. For sites that lie within any Commercial, Lodge or Central Mixed Use Character Area, the Public Amenity Space objectives and guidelines for the specific character area will apply.

Public Amenity Space on sites located outside of a commercial character area should reflect the development pattern established by residential open space along the block.



## ***Building Placement***

The predominant pattern of development, defined by the lot pattern, lot coverage and building orientation, should set the precedent for lodge development. This should ensure that building form and scale, particularly on larger sites, is in keeping with the established pattern.

Within parts of the residential area the existing lot pattern creates a rhythm and relationship for individual building façades, set within their own landscaped open space and tree-lined setting. Front, side and rear setbacks create the relationship between building and lot, and form the basis of the development pattern and perceived building scale. Predominant neighborhood setbacks should be respected. Building orientation, within this lot and setback pattern, should also set a precedent for future development form.

Mature trees should be maintained. Corner sites present the scale of the building in a more public three dimensions, and require design configuration in accordance with the prominence of the site.

### **5.4 Front, side and rear setbacks should generally be consistent with the range of the existing neighborhood.**

- These should include landscaping.

### **5.5 Within an established residential context, a lodge building should reflect traditional lot widths in more than one of the following ways:**

- The variation in building height.
- The modulation of the building elements.
- The variation in façade heights.
- The street façade composition.
- The variation in design and materials to emphasize the building module.

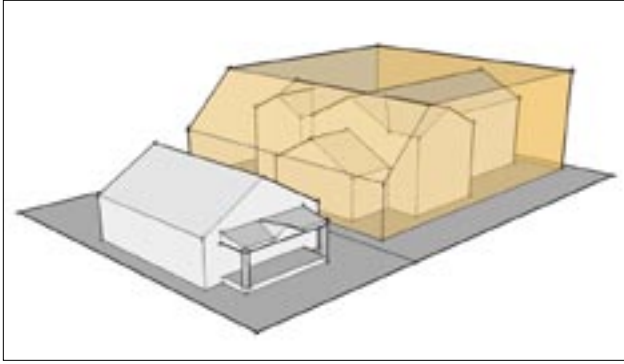


*Front setbacks and mature landscaping should be maintained where a lodge is introduced into a residential context.*



*Sensitive contextual design may require particular attention to the modulation of building height, form and profile.*





*A bulk plane is created by stepping down the height of a building adjacent to a single family residential building.*

## ***Building Height, Mass & Scale***

Where an existing pattern of development has been defined, increasing heights should be used judiciously. While larger buildings are anticipated, they should be designed in modules that reflect the scale of nearby buildings.

Sensitive contextual design requires particular attention to building height, form and profile. For example, a proposed building which is taller than adjacent residential development should step down in height where it approaches the adjacent lot.

Roof forms also should be a central consideration, directly informed by the immediate setting. The pitched roof form of residential type buildings provide a medium which can create a perceived reduction in scale and an interesting and varied profile where the building is modulated.

## **Height and Height Variation**

**5.6 Building height should generally fall within the range established by the setting of adjacent buildings and the nearby street blocks.**

- If two stories are predominant a third story portion may be permitted if located in the center or as an accent on a corner.
- Higher sections of the building should be located away from lower adjacent buildings.
- A minimum 9 ft. floor to ceiling height is to be maintained on second stories and higher.



**5.7 A building should respect the traditional lot width and scale of the context in the form, modulation and variation of the roofscape.**

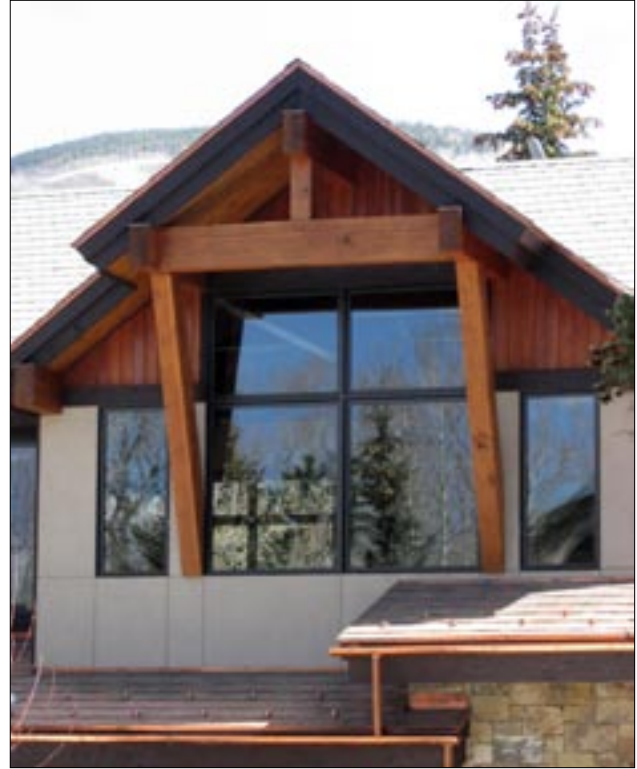
- On sites exceeding 60 feet in width, the building height and form should be modulated and varied across the site.
- The width of the building or of an individual building module should reflect traditional facade widths in the area.

**5.8 Building height adjacent to a historic single story residential building should fit within a bulk plane which:**

- Has a maximum wall height of 15 ft. at the required side yard setback line, and
- Continues at a 45 degree angle from this wall plate height until it reaches the maximum permitted building height.

**5.9 Building height adjacent to a residential zone district should fit within a bulk plane which:**

- Has a maximum wall height of 25 ft. at the required side yard setback line, and
- Continues at a 45 degree angle from this wall plate height until it reaches the maximum permitted building height



*Use roof materials which complement the design of the building facades.*



## Final Review Design Guidelines

The following design guidelines shall apply at the final review stage.

### *Building Design & Articulation*

The setting for the small lodges varies greatly, ranging from commercial to an entirely residential, often historic, setting. It is important that the design for the site and building are defined through an analysis of the individual context.

Facades should be articulated and detailed to reflect and enhance the visual interest of the street and to maintain or create a context-specific sense of human scale. This will include variation in building form and profile, articulation of façade planes, fenestration patterns and architectural detail.

**5.10 A new building shall be designed to maintain a minimum of 9 feet from floor to ceiling on all floors.**



*Design a building to include variation in form and profile to achieve a sense of human scale.*

**5.11 To reduce the perceived mass and scale of a building, the design should respect the setting and reflect the human scale and character of the neighborhood. This shall be achieved through all of the following:**

- The varied massing of building forms
- The articulation of the façade(s) through a varied roof profile
- The articulation of the façade through varied wall planes.
- The use of a variation in architectural materials, and detailing

**5.12 The retail entrance should be at the sidewalk level.**

- All entrances shall be ADA compliant.
- On sloping sites the retail frontage should be as close to a level entrance as possible.

**5.13 Incorporate an airlock entry into the plan for all new structures.**

- An airlock entry that projects forward of the primary façade at the sidewalk edge is inappropriate.
- Adding temporary entries during the winter season detracts from the character of the historic district.
- Using a temporary vinyl or fabric "airlock" to provide protection from winter weather is not permitted.



## Roofscape

A building's roofscape should be regarded as an architectural 'elevation', given its visibility from nearby buildings and mountain slopes. Specific attention should be paid to creating a varied and interesting roofscape. The form seen from above should reinforce the rhythm and scale of the street façade.

### 5.14 The roofscape should be designed with the same design attention as the secondary elevations of the building.

- Locate mechanical units to minimize the impact on adjacent residential uses.
- Employ an acoustic screen to buffer the noise from mechanical equipment and minimize the impact on adjacent residential uses.
- Position, articulate and design rooftop enclosures or structures to reflect the modulation and character of the building.
- Use materials which complement the design of the building façades.
- Design roof garden areas to be unobtrusive from the street.
- Use 'green roof' design best practice, where feasible.

## Architectural Materials

The existing palette of building materials is an established part of the sense of history of an area and its role in present city character. Previous lodge development has used a range of materials, including wood, brick, stonework and other materials. New materials can bring fresh energy and highlight different use. Additionally, where used effectively they can enhance a sense of human scale and a distinct impression of historical continuity within a spectrum of continuous development. Roof materials are also significant in the definition of character within an area of mainly pitched roof form.



*High quality, durable materials should be employed.*

### 5.15 High quality, durable materials should be employed.

- The palette of materials proposed for all development should be specified and approved as part of the general and detailed development approvals process, including samples of materials as required.

### 5.16 Building materials should have these features:

- Convey the quality and range of materials seen historically.
- Reduce the perceived scale of the building and enhance visual interest of the facade.
- Convey human scale.
- Have proven durability and weathering characteristics within this climate.





*Landscaping and paving should enhance the street scene, integrate the development with its setting and reflect the quality of the architectural materials.*



*Maintain a high degree of landscaping on a lodge site.*

## ***Paving & Landscaping***

The residential context is characterized by mature tree cover and landscaping. This is an important factor in the softening of the impact of any new lodge development and in its integration within an established setting. Wherever possible existing mature tree cover and landscaping should be retained and additional landscaping and tree planting included. Access points should be sited to avoid the loss of existing mature street trees.

### **5.17 Maintain a high degree of landscaping on a lodge site.**

- The location of a new building should minimize the loss of existing mature tree cover and landscaping.
- Also include additional tree planting and landscaping within front and side yard areas.



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